

**NOTICE OF PUBLIC HEARING
OF APPLICATION FOR MINOR VARIANCE FROM BY-LAW
(*The Planning Act, R.S.O. 1990, Section 45*)**

TAKE NOTICE that an application has been made by Jaswal, Bhupinder & Singh, Hardev, Agent – Monument-Urso Surveying (Stefan Bazar), for a minor variance from the provisions of Zoning By-Law 38-09 of the Township of South Glengarry, as amended, (being a by-law respecting the use of land and the use and location of buildings) for the property that is legally described as Part of Lot 38 on Plan 142, being part 1 of 14R6623, in the Geographic Township of Charlottenburgh, now in the Township of South Glengarry, County of Glengarry, located at 6684/6686 Lawrence St for the following reasons:

THE PURPOSE AND EFFECT OF THE APPLICATION:

The applicant has obtained Provisional Consent to sever the existing semi-detached dwelling units at 6684 and 6686 Lawrence St; a condition of that Consent is to apply for and obtain a minor variance to reduce the minimum lot area requirements of Zoning By-law 38-09.

The following relief from the Zoning By-Law 38-09 is requested:

Par 6.2 – To reduce the minimum lot area from 270 square meters per dwelling unit to 180.49 square meters on the severed (northern) portion of consent B-87-24 containing 6684 Lawrence St. and to 231.28 square meters on the retained (southern) portion of consent B-87-24 containing 6686 Lawrence St.

ADDITIONAL INFORMATION relating to the application is available for inspection during office hours at the Township of South Glengarry Office, located at 6 Oak Street, Lancaster, ON.

FURTHER TAKE NOTICE that the Committee of Adjustment will hold a public meeting on **Monday, February 24th, 2025 at 5:45 pm** for the purpose of a public hearing into this matter, to be held in the Council Chambers located at the Tartan Hall, Char Lan Recreation Centre, 19740 John Street, Williamstown.

FURTHER TAKE NOTICE that the subject is the subject of an application under the Planning Act for a consent under file number: B-87-24

THIS NOTICE IS SENT TO YOU BECAUSE YOU ARE AN ASSESSED OWNER OF LAND NEAR THE SUBJECT PROPERTY, OR AN INTERESTED PARTY. YOU ARE NOT COMPELLED TO ATTEND, HOWEVER, THE APPLICANT OR THEIR AGENT MUST BE PRESENT AT THE HEARING.

You are entitled to attend this public hearing in-person or you may be represented by counsel or an agent to give evidence about this application. Signed, written submissions that relate to an application shall be accepted by the Secretary-Treasurer before or during the hearing of the application at the addresses above and shall be available to any interested person for inspection at the hearing. Statutory Powers Procedure Act, R.S.O. 1990.

IF A PROPERTY CONTAINS SEVEN OR MORE RESIDENTIAL UNITS, the owner is required to post this notice at a location that is visible to all of the residents. O. Reg. 175/16, s. 1 (8-10)

NOTICE OF DECISION

A certified copy of the decision, together with a notice of the last day for appealing to the Ontario Land Tribunal shall be sent, not later than 10 days from the making of the decision, to the applicant, and to each person who appeared in person or by counsel at the hearing and who filed with the Secretary-Treasurer a written request for notice of the decision. Planning Act, R.S.O. 1990, c.P.13, s. 45 (10)

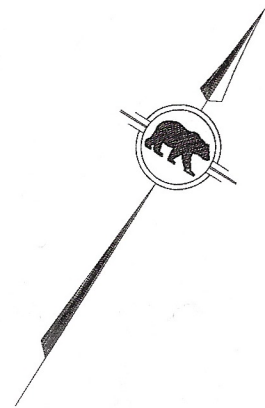
FAILURE TO ATTEND HEARING If you do not attend this public hearing, it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings. Statutory Powers Procedure Act, R.S.O. 1990, c.S.22, s 7.

Dated: Wednesday, February 12th, 2025

Maxwell Irwin
Secretary-Treasurer
Committee of Adjustment
Township of South Glengarry
613-347-1166 ext. 2207
mirwin@southglengarry.com

Key Map





BEARING NOTES

BEARINGS ARE MTM GRID, DERIVED FROM CAN-NET REAL-TIME NETWORK GPS OBSERVATIONS ON OBSERVED REFERENCE POINTS A AND B HAVING A BEARING OF N3°02'43"W AND ARE REFERRED TO THE CENTRAL MERIDIAN (73°30' WEST LONGITUDE) OF MTM ZONE 8 NAD83 (CSRS) (2010.0).

FOR BEARING COMPARISONS, A ROTATION OF 1°01'45" CLOCKWISE WAS APPLIED TO (P1).

DISTANCES ON THIS PLAN ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGE COMBINED SCALE FACTOR OF 0.999991.

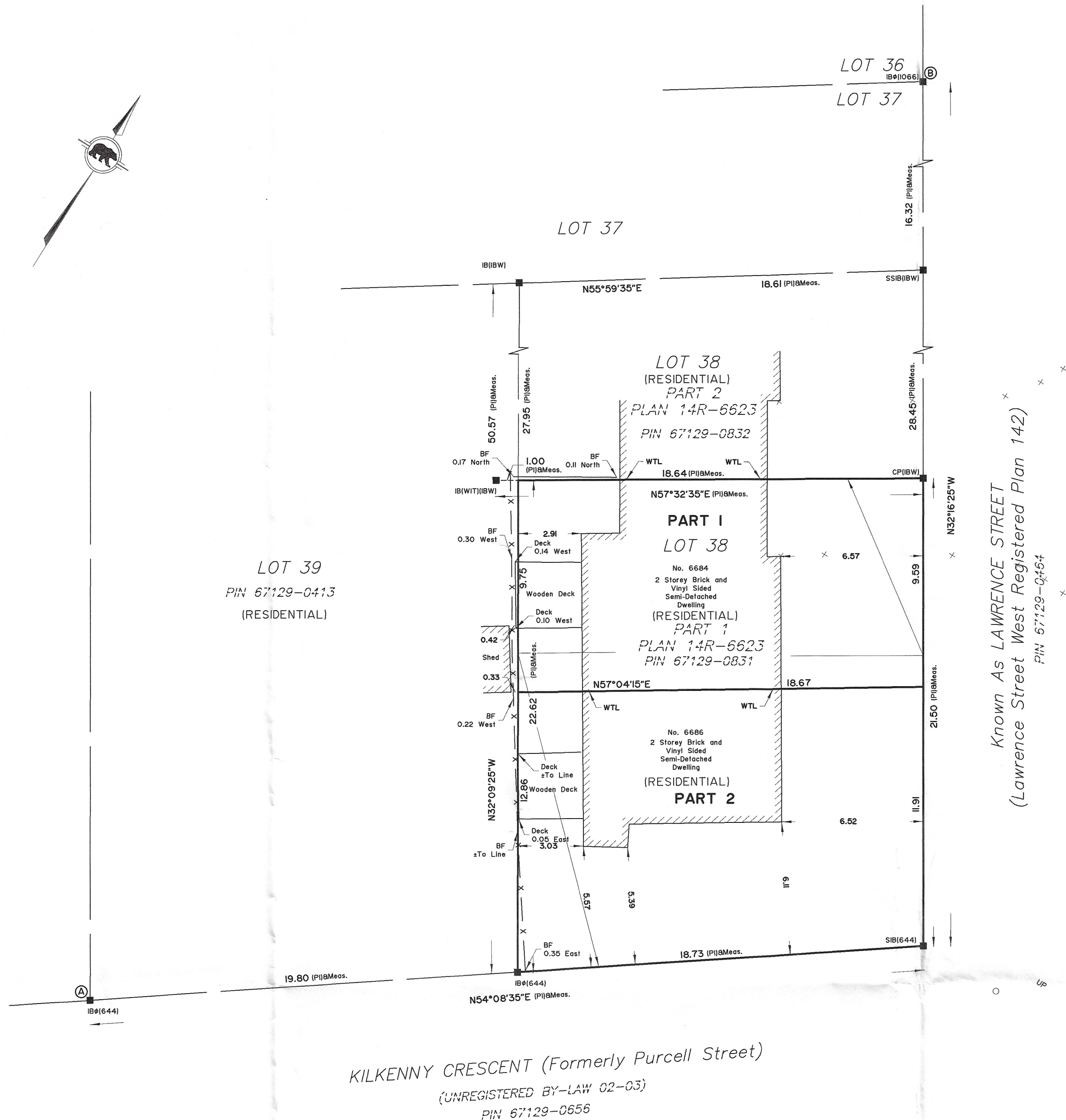
CO-ORDINATE NOTES

CO-ORDINATES ARE DERIVED FROM CAN-NET REAL-TIME NETWORK GPS OBSERVATIONS, MTM ZONE 8 NAD83(CSRS)(2010.0).

COORDINATES ARE TO URBAN ACCURACY PER SECTION 14(2) OF O.REG 216/10.

POINT ID	NORTHING	EASTING
A	4988913.18	215060.05
B	4988991.75	215055.87

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



SCHEDULE

Area (Sq. m)	PART	LOT	PLAN	PIN
180.49	1	PART OF 38	REGISTERED PLAN 142	ALL OF 67129-0831
231.28	2			

PLAN OF SURVEY OF
PART OF LOT 38
REGISTERED PLAN 142
TOWNSHIP OF SOUTH GLENGARRY
UNITED COUNTIES OF STORMONT,
DUNDAS AND GLENGARRY
MONUMENT-URSO SURVEYING LTD.

SCALE 1 : 150



The intended plot size of this plan is 432 mm in width by 279 mm in height when plotted at a scale of 1:150.

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE XX DAY OF XX, 2025.

DATE

STEFAN BAZAR
ONTARIO LAND SURVEYOR

This plan of survey relates to AOLS Plan Submission Form Number V-XXXX.

LEGEND

DENOTES	FOUND SURVEY MONUMENT
■	PLANTED SURVEY MONUMENT
□	IRON BAR
IB	STANDARD IRON BAR
SIB	SHORT STANDARD IRON BAR
SSIB	CONCRETE PIN
CP	ROUND IRON BAR
IBØ	WITNESS
(WIT)	ACCEPTED
ACC.	MEASURED
MEAS.	MONUMENT-URSO SURVEYING LTD.
(1476)	PLAN 14R-6623
(P1)	BOARD FENCE
BF	CENTRELINE OF WALL ± TO LINE
WTL	



Monument-Urso Surveying Ltd.

Ontario Land Surveyors | Canada Land Surveyors

1755 WOODWARD DRIVE

OTTAWA, ON K2C 0P9

536 C FOURTH LINE EAST

SAULT STE. MARIE ON, P6A 6J8

TEL: (613) 800-1583

TEL: (705) 254-7851

FAX: (705) 254-5571

DRAWN: SB

PROCESSED: SB

FIELD: JC

CHECKED: SB

FILE No:

24-0200 PL L1 38 RP 142 14 R D1