

Impala Developments Inc. Zoning By-Law Amendment

- This meeting will begin with a presentation summarizing the application, followed by a discussion period during which all attendees will have an opportunity to provide input on the proposed by-law.

SOUTH GLENGARRY

Ontario's Celtic Heartland

Impala Developments Inc. Zoning By-Law Amendment

- Subject Property Location:
- Lot 27, Registered Plan 15, in the Geographic Township of Lancaster, now in the Township of South Glengarry, County of Glengarry, located at 20378, Old Montreal Road.

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Impala Developments Inc. Zoning By-Law Amendment

- The purpose of this Amendment is to rezone the subject property from Residential Two (R-2) to Residential Four - Exception Six (R4-6) to permit an eight (8) unit apartment building to be developed and:

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Impala Developments Inc.

Zoning By-Law Amendment

- To recognize the existing 27.7 meters of Lot Frontage.
- To reduce the Rear Yard Setback from 8 meters to 6 meters.
- To increase the Maximum Building Height from 11 meters to 12 meters.
- To reduce the Landscaped Buffer width from 3 meters to 0.64 meters on the east interior side lot line.

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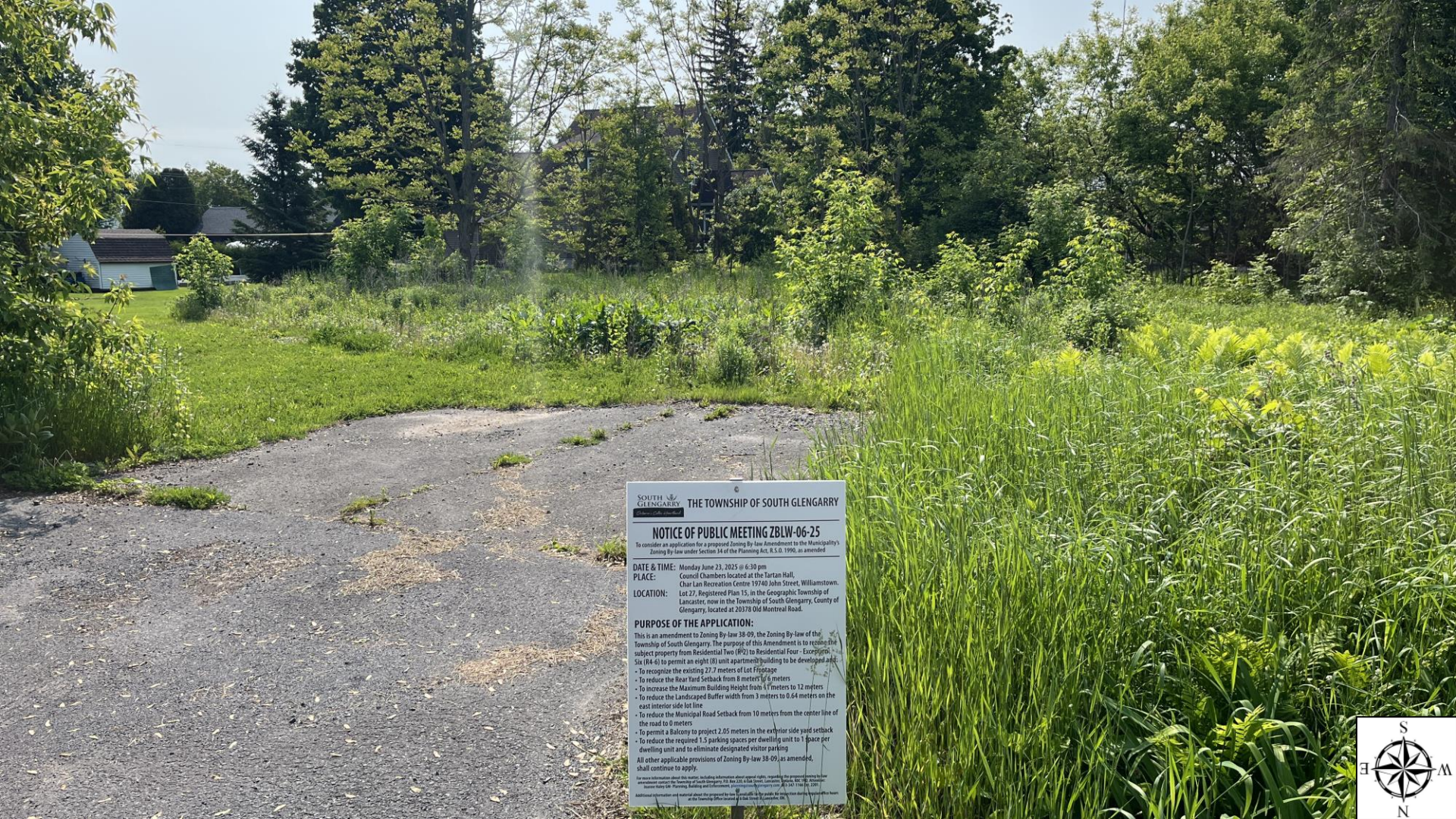
Impala Developments Inc.

Zoning By-Law Amendment

- To reduce the Municipal Road Setback from 10 meters from the center line of the road to 0 meters.
 - To permit a Balcony to project 2.05 meters in the exterior side yard setback.
 - To reduce the required 1.5 parking spaces per dwelling unit to 1 space per dwelling unit and to eliminate designated visitor parking.
-
- All other applicable provisions of Zoning By-law 38-09, as amended, shall continue to apply.

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SOUTH GLENGARRY
THE TOWNSHIP OF SOUTH GLENGARRY

NOTICE OF PUBLIC MEETING ZBLW-06-25
To consider an application for a proposed Zoning By-law Amendment to the Municipality's Zoning By-law under Section 34 of the Planning Act, R.S.O. 1990, as amended

DATE & TIME: Monday June 23, 2025 @ 6:30 pm
PLACE: Council Chambers located at the Tartan Hall, Char Lan Recreation Centre 19740 John Street, Williamstown, Ont. L0C 1A0
LOCATION: Lot 27, Registered Plan 15, in the Geographic Township of Lancaster, now in the Township of South Glengarry, County of Glengarry, located at 20378 Old Montreal Road.

PURPOSE OF THE APPLICATION:
This is an amendment to Zoning By-law 38-09, the Zoning By-law of the Township of South Glengarry. The purpose of this Amendment is to rezone the subject property from Residential Two (R2) to Residential Four - Escapades Six (R4-6) to permit an eight (8) unit apartment building to be developed and:

- To recognize the existing 27.7 meters of Lot Frontage
- To reduce the Rear Yard Setback from 8 meters to 6 meters
- To increase the Maximum Building Height from 4.7 meters to 12 meters
- To reduce the Landscaped Buffer width from 3 meters to 0.64 meters on the east interior side lot line
- To reduce the Municipal Road Setback from 10 meters from the center line of the road to 0 meters
- To permit a Balcony to project 2.05 meters in the exterior side yard setback
- To reduce the required 1.5 parking spaces per dwelling unit to 1 Space per dwelling unit and to eliminate designated visitor parking

All other applicable provisions of Zoning By-law 38-09, as amended, shall continue to apply.

For more information about this project, including information about appeal rights, regarding the amendments to the Zoning By-law, please contact the Township of South Glengarry at 20378 Old Montreal Road, Williamstown, Ont. L0C 1A0, or call 705-326-1111. The Township of South Glengarry is a member of the County of Glengarry. The Township of South Glengarry is a member of the County of Glengarry. The Township of South Glengarry is a member of the County of Glengarry.





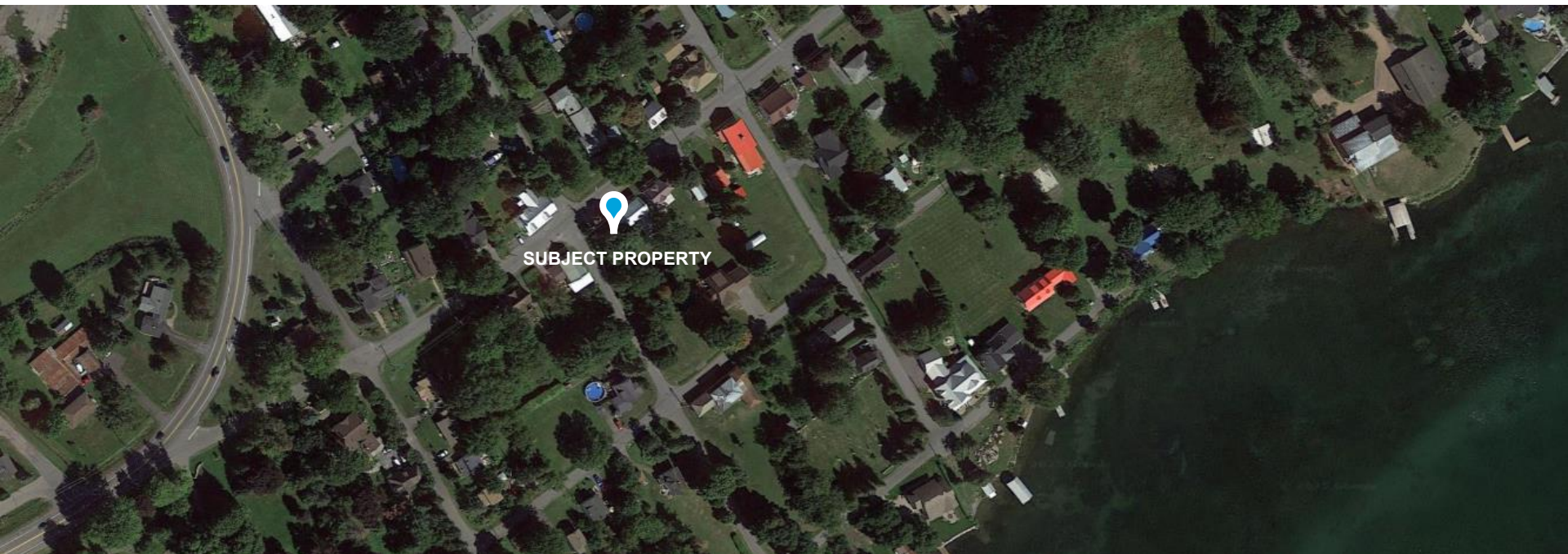
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Old Montreal Road, South Glengarry, ON

Public Consultation, June 2025

Location

- / Located within the South Lancaster, within the Township of South Glengarry
- / Size: Approx. 1,055 sq m
- / Frontage: 27.76 m along Old Montreal Road

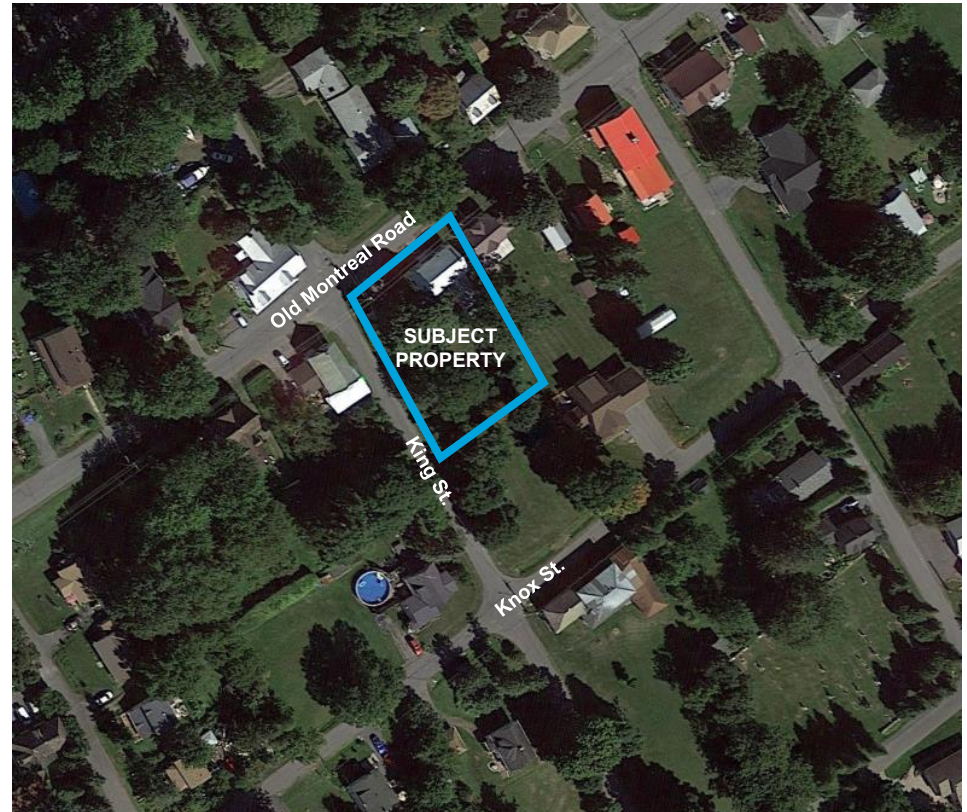
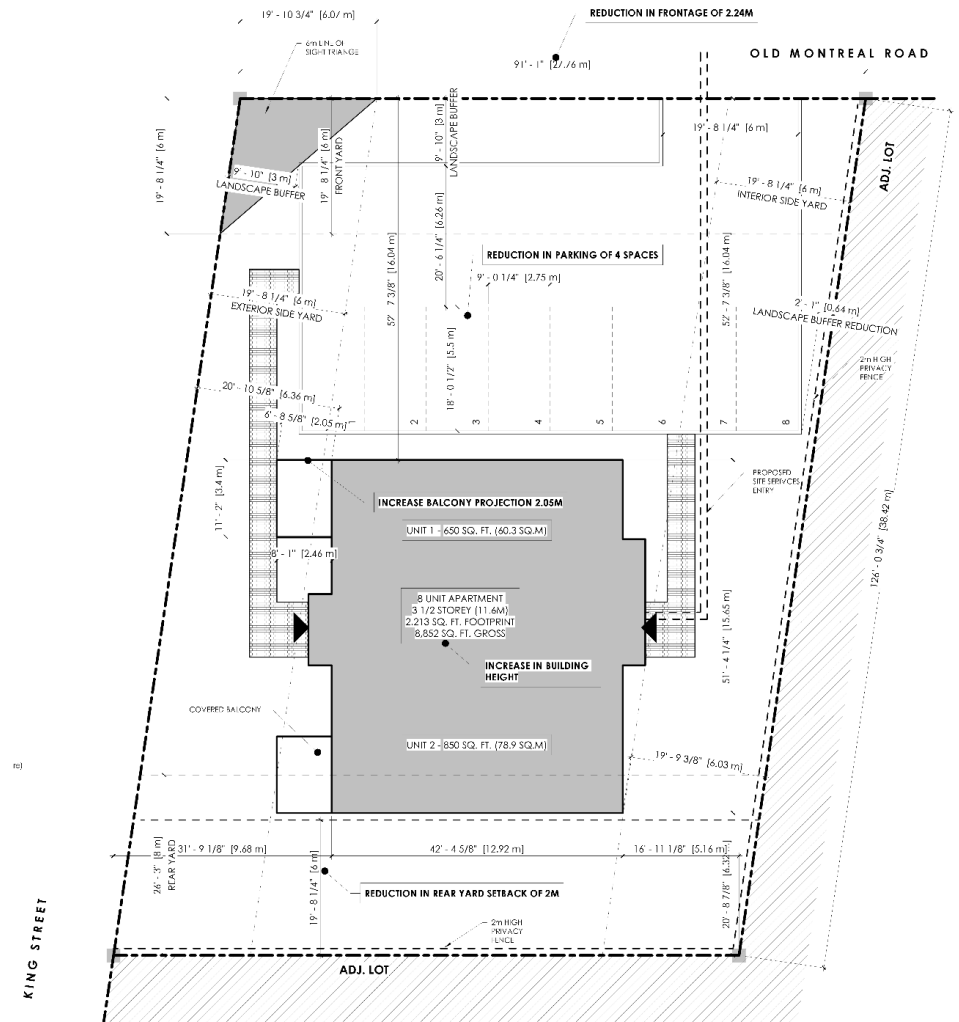


Image showing site and its surrounding context; The image predates existing site conditions – the site is currently vacant.

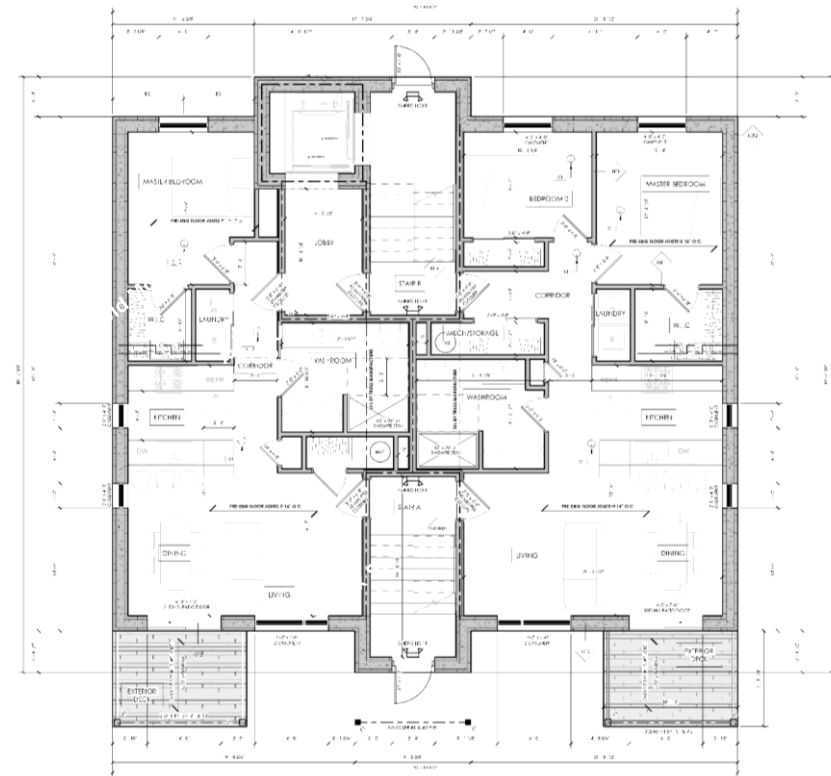
Proposal: Site Plan

- / 3.5 Storey Residential Apartment
- / Building footprint – 205.6 sq m/
2,213 sq ft
- / Parking – 8 spaces (1:1 ratio)
- / Setbacks – 6 m
- / Lot Coverage – 19%



Proposal: Typical floor Plan

- / Total 8 units – Five one-bedroom units & three two-bedroom units
- / One-bedroom unit – approx. 60 sq m/ 650 sq ft
- / Two-bedroom unit – approx. 79 sq m/ 850 sq ft
- / 10'11" X 7'9" exterior decks



1 GROUND FLOOR PLAN
1/4" = 1'-0"

Proposal: Site Plan



Proposal: Site Plan





WILSON
ARCHITECTURAL
DESIGN



IMPALA
DEVELOPMENT INC.

Noah Remault



W WILSON
ARCHITECTURAL
DESIGN



Noah Perault



Official Plan

- / The subject property is located within the **Urban Settlement Area** of the United Counties of Stormont, Dundas and Glengarry Official Plan and Township of South Glengarry Official Plan

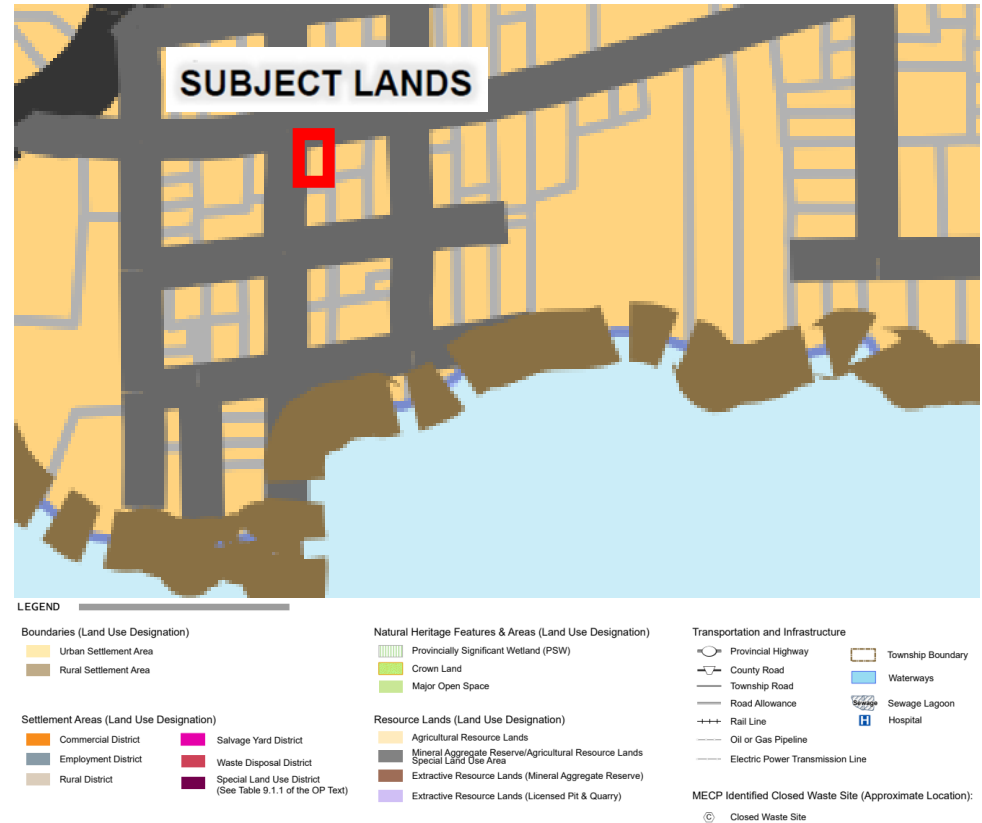
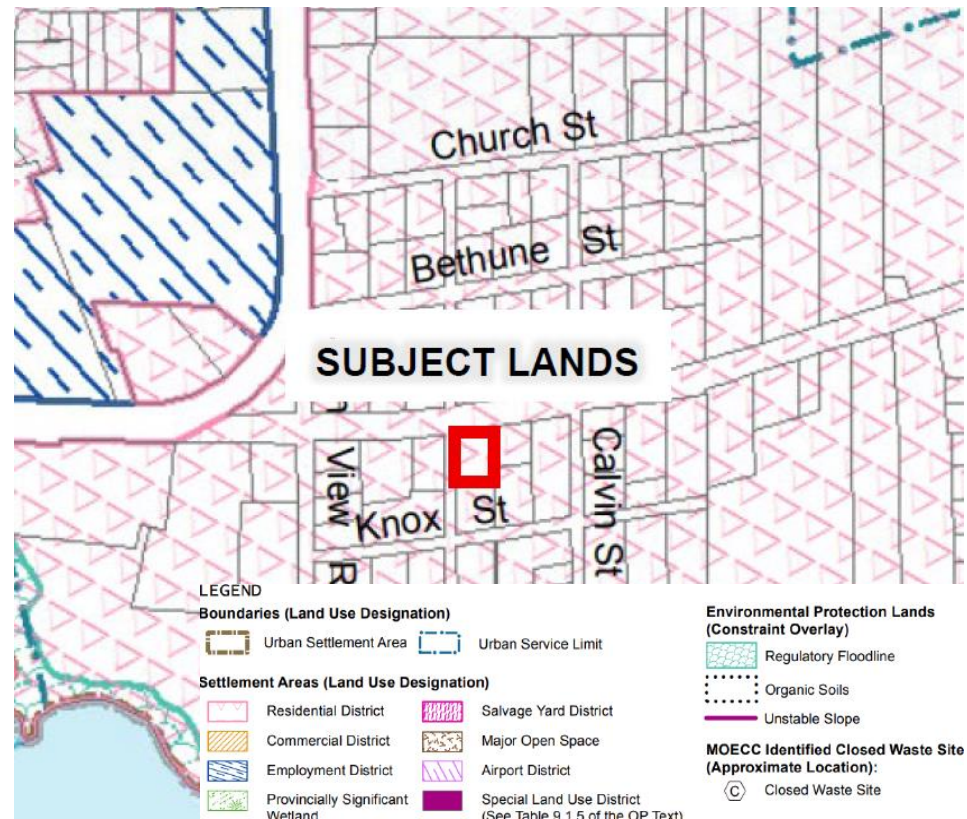


Image showing the subject property within the Settlement Area of the Township of South Glengarry Map

Official Plan

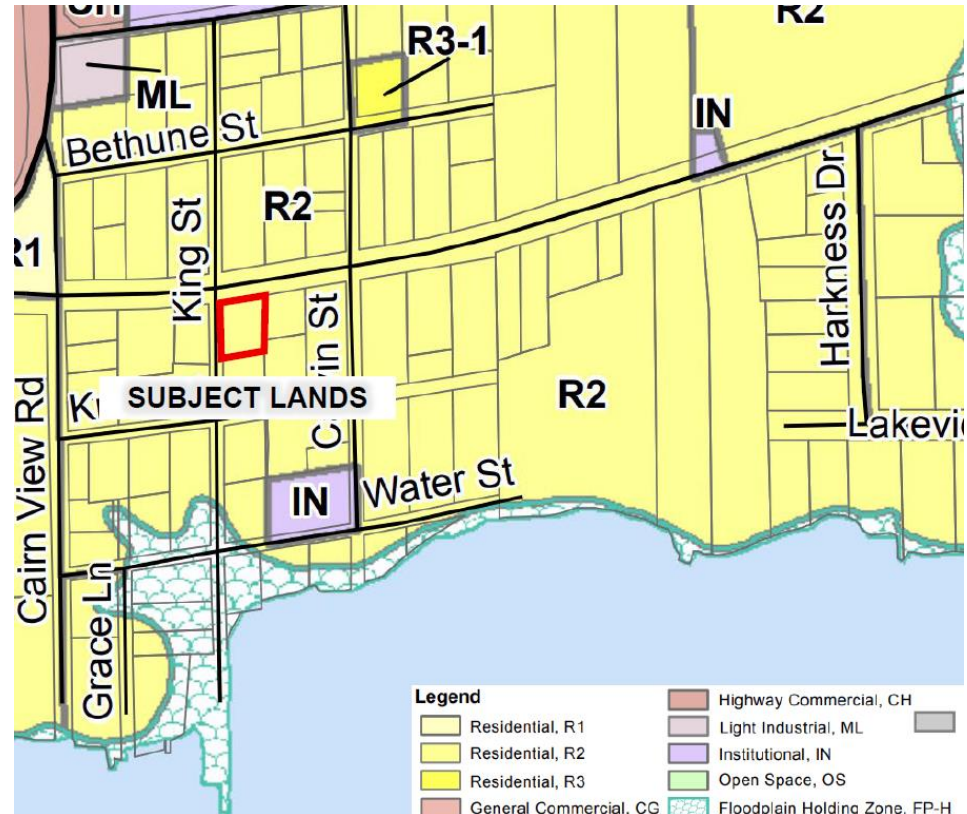
- / The subject property is situated within the Urban Settlement Area and is designated **Residential District** in accordance with Land Use Schedule A6c of the Township of South Glengarry.



Schedule A6c Land Use Map, Township of South Glengarry

Township of South Glengarry Zoning By-law 06-2023

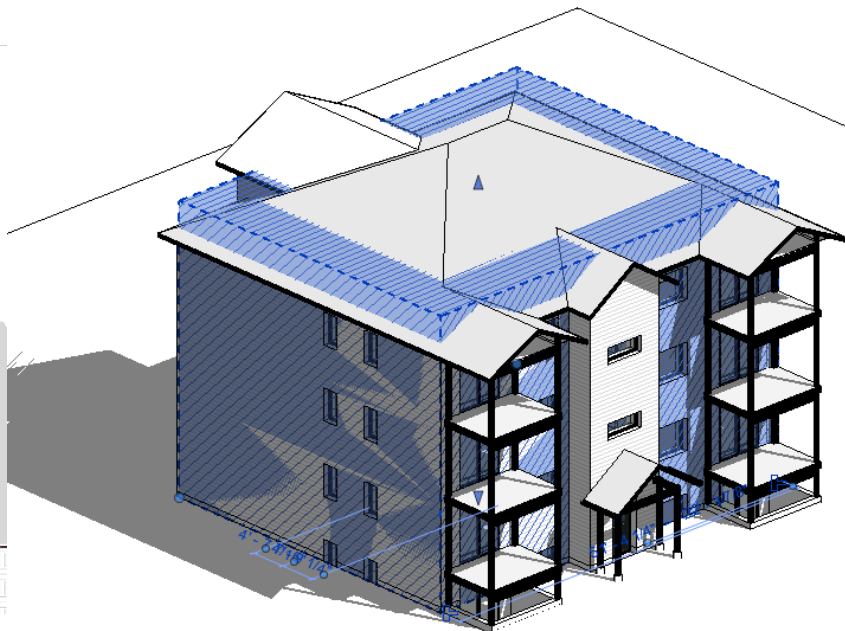
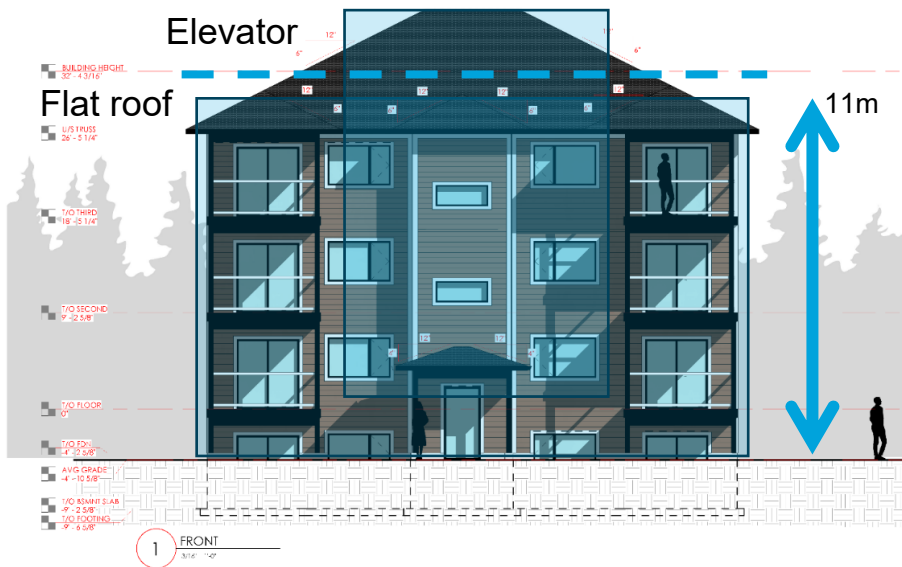
- / The subject property is currently zoned Residential Two (R2).
- / The R2 zone permits a range of low-density residential uses, including single detached dwellings, semi-detached dwellings, duplexes, link dwellings, converted dwellings (up to two units), and boarding or rooming houses as accessory uses (up to five units).
- / Proposed zone – Residential Type 4, exception (R4-XX)

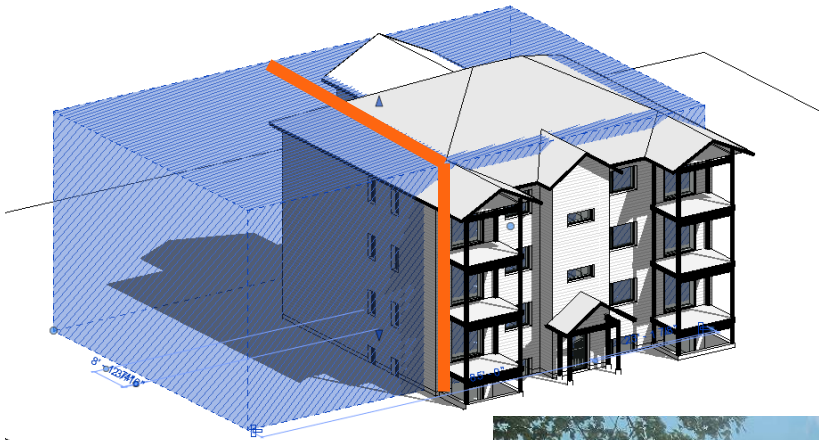


Map extract - Schedule S-9, St. Lawrence Shoreline Part 9 Zoning Map

Proposed Zone - Residential Type 4 Exception (R4 -XX)

Provision	Required	Proposed	Zoning Compliance
Lot Area (minimum)	62 DU/Ha (25 DU/acre)	76 DU/Ha Total Units - 8 Lot Area – 1,055 sq m	Yes
Lot Frontage (min.)	30 m	Existing – 27.76 m	A Zoning By-law Amendment is being sought to recognize the existing frontage as on the date this by-law is passed.
Dwelling Floor Area (min.)	Bachelor/Studio: 46 m ² One Bedroom: 56 m ² Two Bedroom: 60 m ² Three Bedroom: 65 m ² Seniors Apartment: 43 m ²	One Bedroom – 60.3 sq m Two Bedroom – 78.9 sq m	Yes
Front Yard Depth (min.)	6 m	Front Setback – 6m	Yes
Exterior Side Yard Width (min.)	6 m	Exterior – 6 m	Yes
Interior Side Yard Width (min.)	6 m	Interior – 6 m	Yes
Rear Yard Depth (min.)	8 m	Rear – 6 m	A Zoning By-law Amendment is being sought to reduce the required rear yard depth to 6 m .
Lot Coverage (max.)	40%	19%	Yes
Height of building (max.)	11 m	Proposed 3.5 storeys, 11.6 m in height	A Zoning By-law Amendment is being requested to permit an increased building height of 12 m .



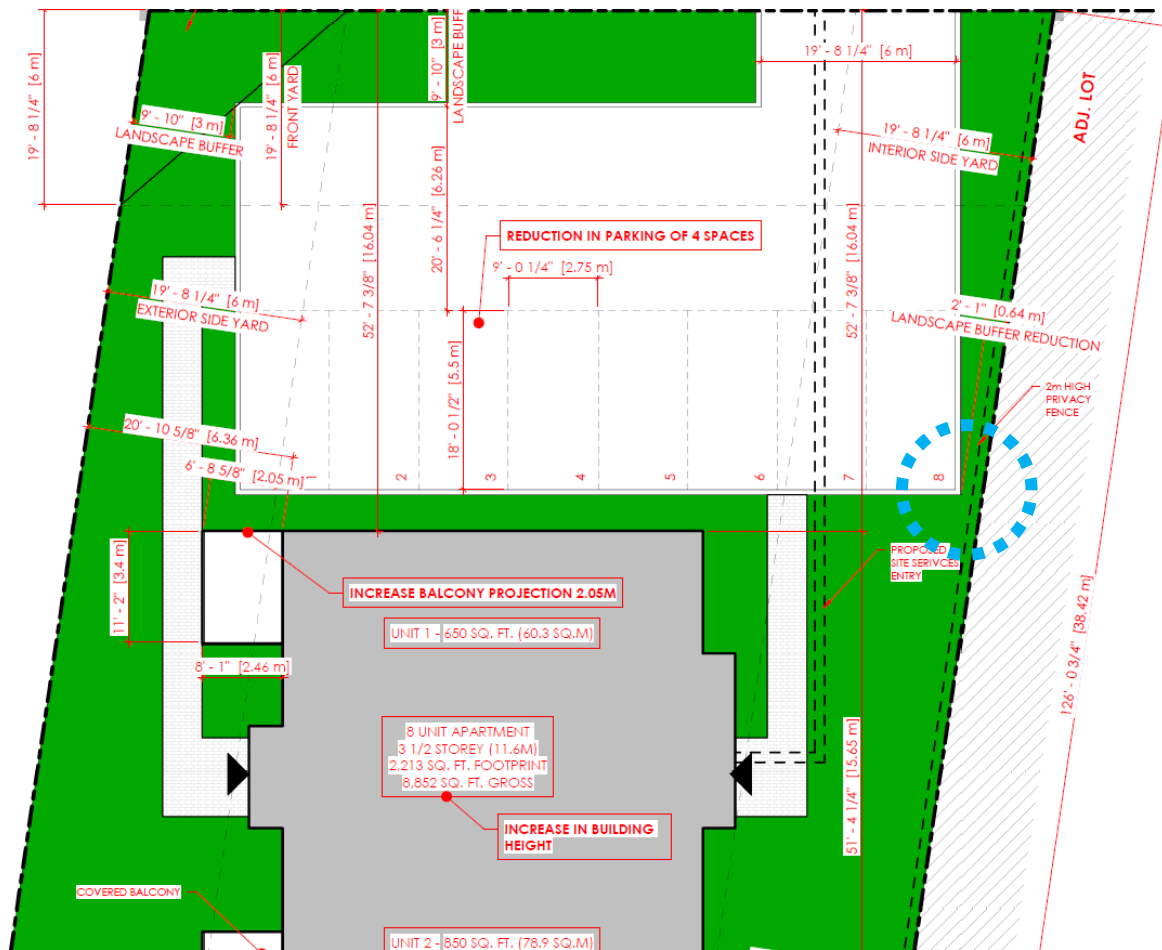


Proposed Zone - Residential Type 4 Exception (R4 -XX)

Provision	Requirement	Proposed	Zoning Compliance
Landscaped Buffering	3.23 (1) Any part of a lot which is not occupied by buildings, structures, parking areas, loading spaces, driveways, excavations, agricultural use, or permitted outdoor storage areas shall be maintained as landscaped open space.	Noted. Indicated appropriately on the Site Plan.	Yes
	3.23 (2) Except as otherwise specifically provided herein, no part of any required front yard or required exterior side yard shall be used for any purpose other than landscaped open space. Where landscaped open space of any kind, including a planting strip, is required adjacent to any lot line or elsewhere on a lot, nothing in this By-law shall apply to prevent such landscaped open space from being traversed by pedestrian walkways or permitted driveways.	Noted. Indicated appropriately on the Site Plan.	Yes
	3.23 (3) No part of any driveway, parking area, loading space, stoop, roof-top terrace, balcony, swimming pool, or space enclosed within a building, other than a landscaped area located above an underground parking area, shall be considered part of the landscaped open space on a lot.	Noted. Indicated appropriately on the Site Plan.	Yes
	3.23 (4)(a) Where a lot is within a Commercial or Industrial Zone or a Residential Multiple Dwelling Zone and the interior side and/or rear lot line, or portion thereof abuts a Residential or Institutional Zone or use, a landscaped buffer area shall be provided on the commercial or industrial lot. The landscaped buffer area shall have a minimum width of three metres (3 m [9.84 ft.]), and an opaque privacy fence or decorative wall of not less than two metres (2 m [6.56 ft.]) shall be constructed along the mutual lot line. The requirement for height of a privacy fence or decorative wall may be reduced where approved through site plan control. 3.23 (4)(b) The landscaped buffer area shall be kept free of all parking, buildings, or structures except for a legal boundary partition and used only for the placement of trees, shrubs, similar vegetation, fencing, and landscaping features and shall be landscaped and maintained by the owner of land on which such buffer area is required. Details of the landscaping and privacy fence or wall shall be provided in a site plan submitted to and approved by the Township.	2 m high privacy fence indicated along the east and south property lines on the Site Plan. The landscaped buffer along the east property line is irregular in shape and while it mostly meets and exceeds the 3 m min. width requirement, the narrowest portion of the buffer, located adjacent to proposed parking space # 8, is approximately 0.64 metres in width.	A Zoning By-law Amendment is proposed to permit a minimum landscaped buffer width of 0.64 m along the east interior side lot line.
	3.23 (5) Lots within Commercial, Industrial, Institutional and Residential Multiple Zones shall be landscaped in accordance with a site plan submitted to and approved by the Township.	Site Plan is not required for the proposed 8-unit development. The provision will be addressed through a basic landscape plan submitted at the building permit stage.	N/A

Proposed Zone - Residential Type 4 Exception (R4 -XX)

Provision	Requirement	Proposed	Zoning Compliance
	3.45 (7) Awnings, flagpoles, lighting fixtures and lampposts, garden trellises, fences are permitted as constructed and located in accordance with the Fence By-law requirements. Fountains, statues, monuments, recreational equipment that is accessory to the main use and similar accessories shall be permitted in any required yard, subject to meeting all other applicable provisions of this Bylaw.	Noted	N/A
	3.45 (10) Retaining walls shall be permitted in any required yard provided a setback of one metre (1 m [3.28 ft.]) from all lot lines is maintained.	Noted	N/A
Landscape Parking Buffering	<p>4.12 (1) Where, in a yard in any Zone, a required parking area providing more than four (4) parking spaces in a Commercial, Industrial or Institutional Zone abuts a Residential use, lot or Zone, then a continuous strip of landscaped open space a minimum width of 3 metres (9.84 ft.) shall be provided along the abutting lot line.</p> <p>4.12 (2) Where, in any yard in any Zone, a required parking area providing more than four (4) parking spaces abuts a street, then a strip of landscaped open space a minimum width of 3 metres (9.84 ft.) with, including a privacy fence, shall be provided along the lot line abutting the street and the landscaped strip shall be continuous except for aisles, driveways, and pedestrian areas required for access to the parking area.</p> <p>4.12 (3) Where a parking area providing more than four (4) parking spaces is located within or abuts a Residential Zone or use, a fence of at least 2 metres (6.56 ft.) in height shall be erected and maintained on the mutual lot line.</p>	<p>2 m high privacy fence indicated along the east and south property lines on the Site Plan.</p> <p>The landscaped buffer along the east property line is irregular in shape while mostly meeting the full 3 m min. width requirement throughout. The narrowest portion of the buffer, located adjacent to a proposed parking space 8, is approximately 0.64 metres in width.</p>	<p>A Zoning By-law Amendment is proposed to permit a minimum landscaped buffer width of 0.64 m along the east interior side lot line, in accordance with the amended permissions of Section 3.23 (4) of the By-law, as proposed through this application.</p>



Proposed Zone - Residential Type 4 Exception (R4 -XX)

Provision	Requirement	Proposed	Zoning Compliance
Sight Triangles	3.38 (1) No building, structure, or use which would obstruct the vision of drivers of motor vehicles on corner lots shall be permitted;	Noted	Yes
	3.36 (2) No fence, wall, tree, hedge, bush, or other vegetation, greater than 0.76 metre (2.5 ft.) above the centre line of the street or road, other than agricultural crops shall be permitted;	Noted	Yes
	3.38 (3) No portion of a delivery space, loading space, driveway or parking space, berm, or other ground surface which exceeds the elevation of the street by more than 0.6 metres (1.97 ft) shall be permitted.	Noted	Yes
	3.38 (4) For the purposes of this By-law, a minimum dimension of 10 metres (32.8 ft.) along both lot lines shall be provided in all Commercial and Industrial Zones; and 6 metres (19.7 ft.) along both lot lines in all other Zones.	Noted. Indicated appropriately on the Site Plan.	Yes
	3.38 (5) Despite these provisions, sight triangle requirements of the Ontario Ministry of Transportation and the Roads Department of the United Counties of Stormont, Dundas, and Glengarry shall also be satisfied.	Noted.	N/A
Special setbacks	3.39 (1)(d) The setback for all lots abutting a Municipal Road shall be 10 metres (32.8 ft.) from the centre line of the road in addition to the applicable front yard setback.	0 metres proposed.	A Zoning By-law Amendment is being sought to reduce the required special setback from the centre line of King Street from 10 metres to 0 metres . This will allow the exterior side yard setback to be measured from the property line.
Yard Encroachments	3.45 (2) An exterior staircase may encroach into a required side or rear yard to a maximum of one metre (1 m [3.28 ft.]).	Noted	Yes
	3.45 (4) Canopies and awnings may project into any required side yard to a maximum of one-and-two-tenths metre (1.2 m [3.94 ft.]) but must retain a setback of not less than six-tenths of one metre (0.6 m [1.97 ft.]) from any lot line.	Noted	Yes
	3.45 (5) Entry, Paths, and Landings may project into any front, rear, or exterior side yard but not into a sight triangle.	Noted	Yes
	3.45 (6) Balconies may project into any required yard but not more than one metre (1 m [3.28 ft.]).	While both balconies project into the setback, the north balcony encroaches further, with a maximum projection of 2.05 metres.	A Zoning By-law Amendment is proposed to permit a maximum balcony projection of 2.05 m into the exterior side yard setback, exceeding the standard 1m limit.

Proposed Zone - Residential Type 4 Exception (R4 -XX)

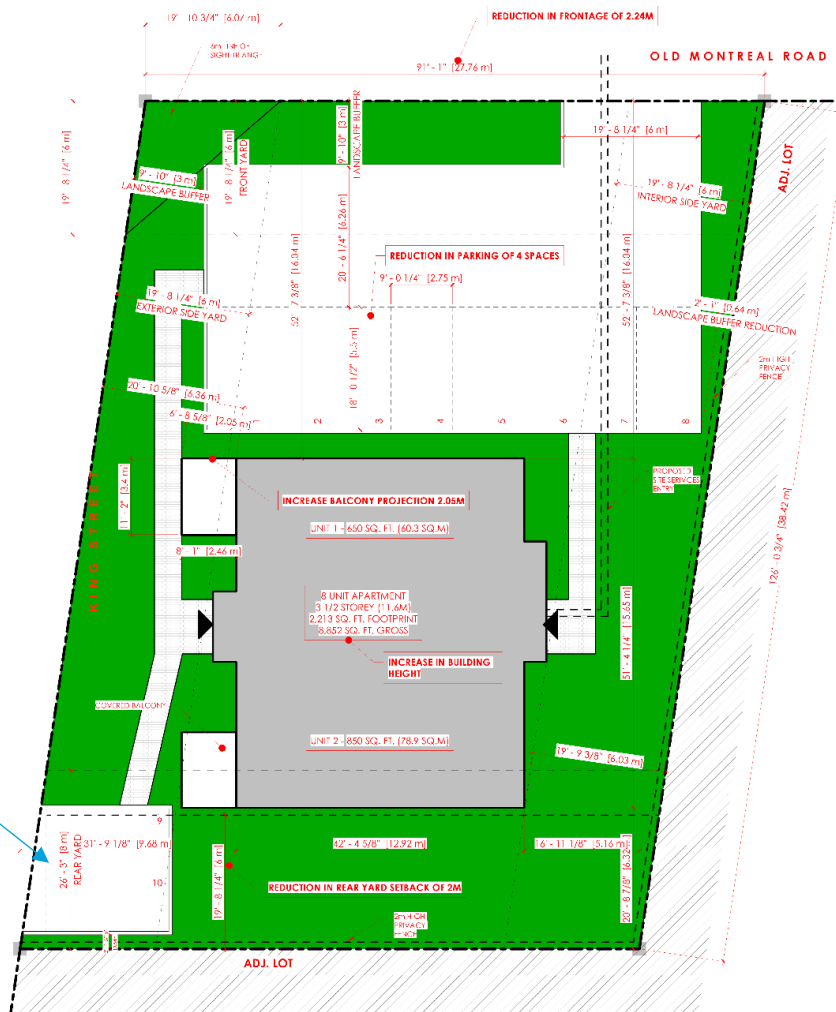
Provision	Requirement	Proposed	Zoning Compliance																
Parking and Loading Provisions	4.1 Apartment Dwelling: 1.5 spaces per dwelling unit, 15% of which will be clearly marked and reserved for visitor parking.	8 spaces provided.	A Zoning By-law Amendment is proposed to reduce the required parking rate to 1 space per unit , with no designated visitor parking, based on the availability of on-street parking in the surrounding area.																
	4.8 Each parking space shall maintain a minimum size and area as indicated herein: <table><tr><th>Parking Space Type</th><th>Minimum Width</th><th>Minimum Length</th></tr><tr><td>Standard 90°</td><td>2.75 metres</td><td>5.5 metres</td></tr><tr><td>Angled – measured at right angles to lines</td><td>2.75 metres</td><td>5.75 metres</td></tr><tr><td>Parallel</td><td>2.75 metres</td><td>6.7 metres</td></tr><tr><td>Barrier-free</td><td>3.7 metres</td><td>6.0 metres</td></tr></table>	Parking Space Type	Minimum Width	Minimum Length	Standard 90°	2.75 metres	5.5 metres	Angled – measured at right angles to lines	2.75 metres	5.75 metres	Parallel	2.75 metres	6.7 metres	Barrier-free	3.7 metres	6.0 metres	2.75 x 5.5 m provided	Yes	
Parking Space Type	Minimum Width	Minimum Length																	
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Angled – measured at right angles to lines	2.75 metres	5.75 metres																	
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Barrier-free	3.7 metres	6.0 metres																	
Accessible Parking	<table><tr><th>No. of Required Parking Spaces</th><th>No. of Designated Spaces</th></tr><tr><td>1 to 9</td><td>No minimum, but minimum of 1 space for institutional, public authority uses, medical clinics, or medical offices</td></tr><tr><td>10 to 19</td><td>Minimum of 1 space</td></tr><tr><td>20-49</td><td>Minimum of 2 spaces</td></tr><tr><td>50-99</td><td>Minimum of 3 spaces</td></tr><tr><td>100-199</td><td>Minimum of 4 spaces</td></tr><tr><td>200-399</td><td>Minimum of 5 spaces</td></tr><tr><td>400+</td><td>Minimum of 6 spaces</td></tr></table>	No. of Required Parking Spaces	No. of Designated Spaces	1 to 9	No minimum, but minimum of 1 space for institutional, public authority uses, medical clinics, or medical offices	10 to 19	Minimum of 1 space	20-49	Minimum of 2 spaces	50-99	Minimum of 3 spaces	100-199	Minimum of 4 spaces	200-399	Minimum of 5 spaces	400+	Minimum of 6 spaces	Not provided	Given we are proposing 8 parking spaces, no accessible parking spaces are included in the proposal.
No. of Required Parking Spaces	No. of Designated Spaces																		
1 to 9	No minimum, but minimum of 1 space for institutional, public authority uses, medical clinics, or medical offices																		
10 to 19	Minimum of 1 space																		
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50-99	Minimum of 3 spaces																		
100-199	Minimum of 4 spaces																		
200-399	Minimum of 5 spaces																		
400+	Minimum of 6 spaces																		
	4.3 (3) The total number of parking spaces for the disabled shall be included within the parking requirements of the permitted use, as part of overall parking requirement total. Each off-street parking space for the disabled shall be a minimum of six metres (6 m [19.7 ft.]) long, three and seven-tenths metres (3.7 m [12.14 ft]) wide and have a vertical clearance of three metres (3 m [9.84 ft.]).	Noted	N/A																

Conclusion

To facilitate the proposed development, an application for a Zoning By-law Amendment is being submitted. If approved, the amendment will have the following effect:

- / Rezone the subject property from the current Residential Two (R2) Zone to a site-specific Residential Four Exception (**R4-XX**) Zone to permit a higher density residential development and increased building height;
- / Allow the minimum lot frontage to be the **lot frontage as it exists** on the date this By-law was passed;
- / Reduce the minimum required rear yard setbacks to **6 m**;
- / Permit a maximum building height of **12 metres (3.5 storeys)**;
- / Reduce the parking requirement to **1 space per unit**, with no designated visitor parking;
- / Permit a reduced minimum **landscaped buffer width of 0.64 metres** along the east lot line, adjacent to the parking area;
- / Permit a **balcony projection of up to 2.05 metres** into the exterior side yard setback; and,
- / Reduce the special setback from the **King Street** center line from 10.0 metres to **0 metres**.

2 visitor spaces



Impala Developments Inc.

Zoning By-Law Amendment

- 56 written comments have been received. The common themes raised by the public:
 - Accessibility of the building
 - Character of development
 - (height, green space)
 - Not an appropriate lot for this type of development
 - Emergency Services
 - Construction impacts
 - Parking capacity
 - Site specifics – garbage storage and pick-up
 - Snow storage, water, wastewater & traffic capacity
 - Archeological study
 - Historical significance of area

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- This zoning amendment application will be subject to a decision of Council.
- A staff report including a recommendation will be brought to Council for a decision in the near future.

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- Re-occurring topics in the public comments:
- Why did the Township accept this zoning amendment application?

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Impala Developments Inc. Zoning By-Law Amendment

Re-occurring topics in the public comments:

- Why was the previous dwelling allowed to be demolished?
 - Inn, tap room, later converted to a single dwelling. It was never designated under the Ontario Heritage Act
 - A demolition permit was issued in 2018

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Subject Property

- Sidewalk on King Street
 - Ran all the way up King St. to houses that served as hotels in the past.
 - Not an asset that South Glengarry has maintained and it is assumed to have been abandoned by the legacy Township.

Impala Developments Inc. Zoning By-Law Amendment

- The setback for all lots abutting a Municipal Road shall be 10 meters from the center line of the road in addition to the applicable front yard setback:

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6410

6411

18283

6406

6415

18267

18278

6416

6417

18270

18255

18253

6425

18249

18245

18256

6427

18242

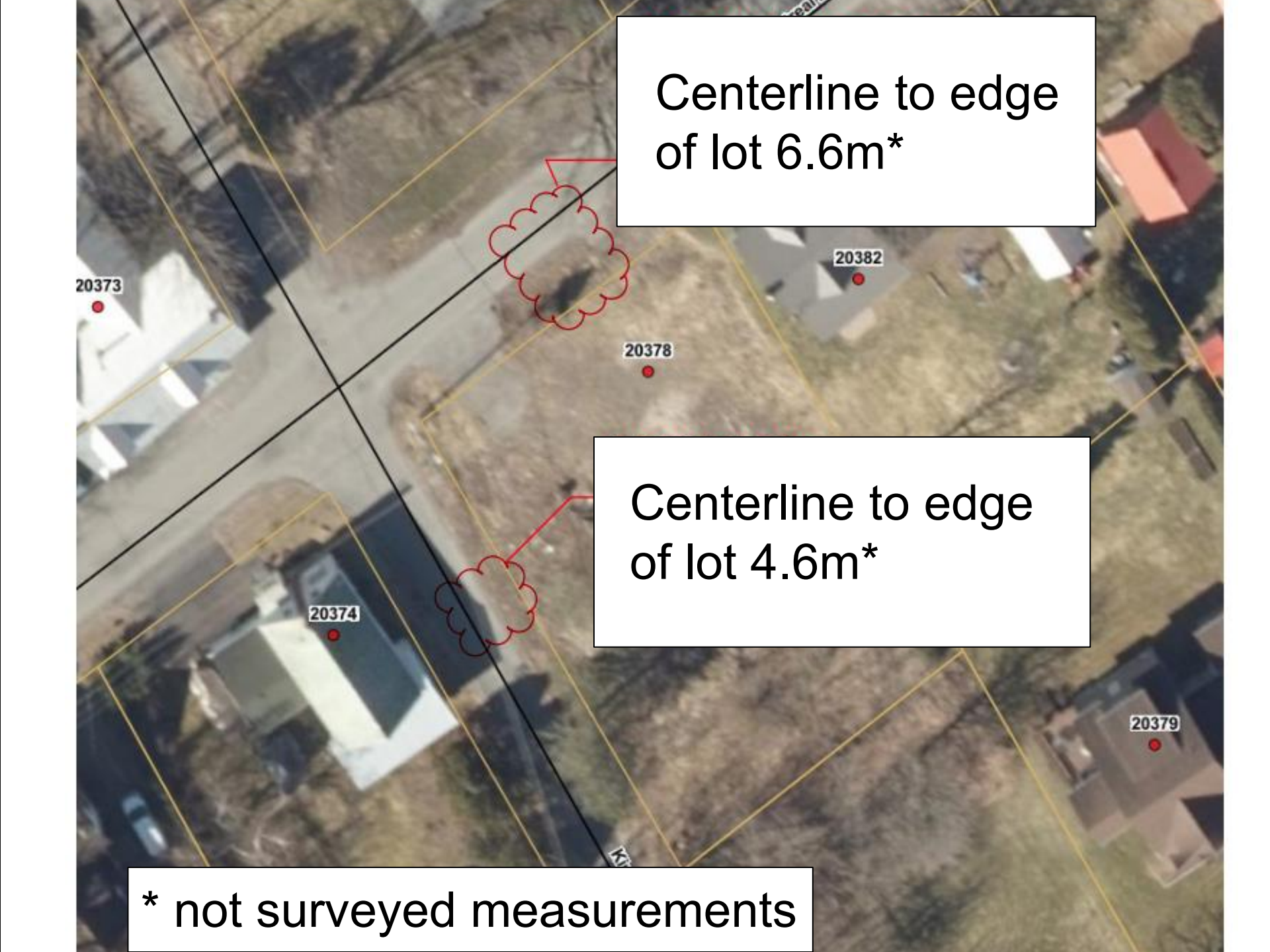
6433

18232

6447

10m Municipal
Road Setback

Tyotown Rd

An aerial photograph of a residential area with yellow property lines overlaid. A black line runs diagonally from the top left to the bottom right. Two red cloud-like shapes are drawn on this line. The top cloud is connected by a red line to a text box. The bottom cloud is connected by a red line to another text box. Several property numbers are visible: 20373, 20382, 20378, 20374, and 20379. A small 'K' is visible at the bottom center.

Centerline to edge
of lot 6.6m*

Centerline to edge
of lot 4.6m*

* not surveyed measurements

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- All comments received to date have been filed in the public planning file.
- These comments will be provided to Council

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